

WEATHERPROOFING ADVISORS LIMITED

Tesco | Weston-Super-Mare

[www.weatherproofing.co.uk](http://www.weatherproofing.co.uk)



# Weatherproofing Advisors were successfully appointed to carry out the full Waterproofing and Landscaping works to Tesco Weston-Super-Mare, on behalf of Tesco Maintenance and RLB



The existing roof garden was looking very tired and very much in need of some significant maintenance. However, the current landscaping covered a far more significant problem. The existing roof waterproofing and subsequent build-up was in excess of 25 years old. Following intrusive surveys, it was determined that the single-ply waterproofing membrane had almost perished, with significant failures throughout. This had been causing Tesco considerable ongoing issues with water ingress, subsequently affecting the customer experience within the store. The garden area is a communal area for all the residents, where it was evident that a lot of love and attention had gone into the choice of plants and flowers. Any proposed solution would have to ensure that disruption was kept to a minimum and that the outcome was to leave the residents with a space that they could enjoy as much if not more than they had with the previous landscape. This would of course have to be coupled with ensuring the roof was both wind and watertight for in excess of 35 years.

## SPOTLIGHT ON SERVICE

The solution was to completely remove all existing landscaping, waterproofing and associated items, and essentially start with a new blank canvas. Weatherproofing Advisors then engaged with Bridgman and Bridgman Landscaping to design and new landscape that supports the needs of all of the residents. This design was done in consultation with the residents so all aspects of their needs were understood. To support the introduction of the new landscaping, we proposed to install a new inverted, insulated waterproofing system, comprising of Moy materials Para-Melt, Hot Melt system, Kingspan Extruded polystyrene insulation, inclusive of all necessary filter layers, outlets, trims, etc. Weatherproofing amalgamated all of the different components to provide Tesco with a fully costed, robust design, which covered all the elements of the projects.

Delivery of the project was complex and logistically challenging. It was important that disruption for all residents, Tesco customers, visitors and colleagues was kept to a minimum, but with Safety at the absolute heart of the overall project. A tower crane was erected and positioned in such a way that it was never stowed over any of the resident's property. All of the existing landscaping was removed, and the materials were loaded from this position. Approximately 1100 tons of waste was removed from the site, with all slabs and bricks recycled for hardcore and stone.



## Project Facts and Figures



- 1100 tons of waste removed from the site.
- All slabs and bricks fully recycled.
- Stormwater retention and flood reduction - 70-80% reduction in water runoff.
- Thermal insulation, keeping the building cooler in summer and warmer in winter.
- Air temperature reduction by around 3 degrees centigrade.
- Carbon capture and air cleaning - approximately 5kg per m<sup>2</sup> of carbon sequestered.
- Habitat creation and areas for nature.
- Creation of much-needed green space.
- Health & Wellbeing benefits to surrounding residents and staff.
- Project delivered on programme and within budget while the site was fully operational and with 0 disruptions.
- Eliminated all store issues providing a new watertight covering for at least 50 years.
- Zero accidents and Incidents.

**SPOTLIGHT ON SERVICE.**

# Project Gallery



**VIEW OF THE EXISTING  
LANDSCAPING**



**OVERHEAD HIGHLIGHTING  
EXTENT OF THE EXISTING  
SLABS, PLANTERS.**



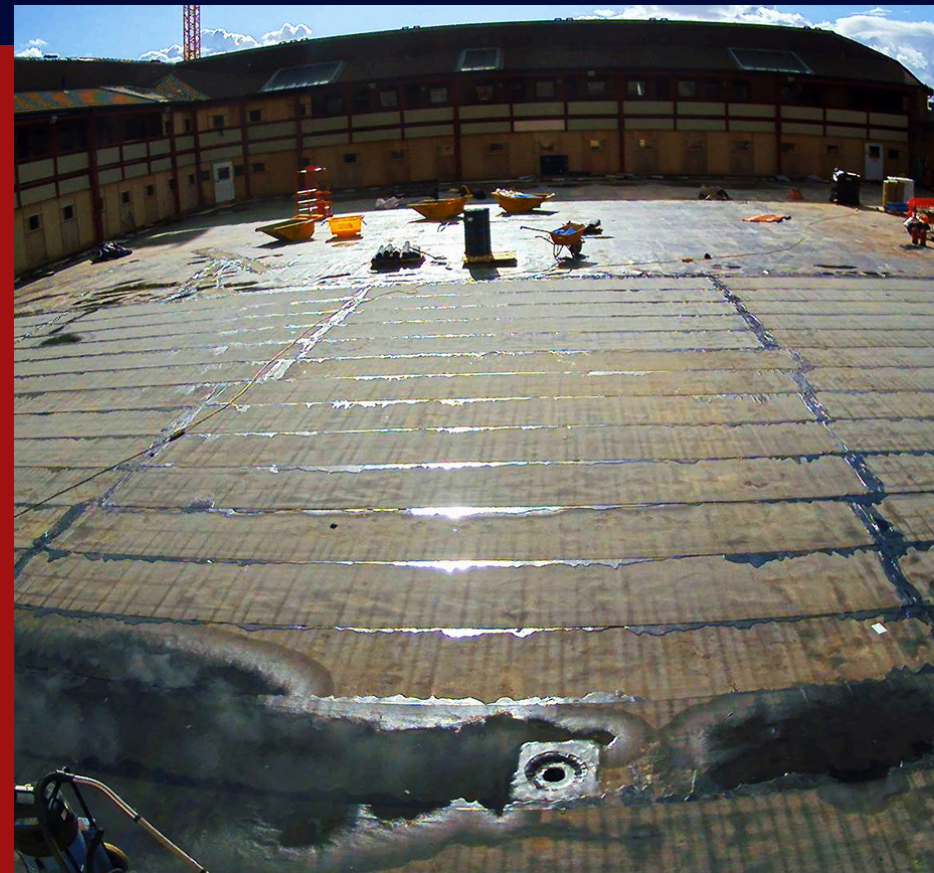
**THE EXISTING SLABS AND  
PLANTERS WERE LOOKING TIRED.**

**SPOTLIGHT ON SERVICE.**

# Project Gallery



**THE EXISTING LANDSCAPE HAS BEEN REMOVED AND READY FOR EXTENSIVE PREPARATION BEFORE THE APPLICATION OF THE NEW WATERPROOFING.**



**PROGRESS OF THE INSTALLATION OF THE NEW MOY HOT MELT SYSTEM**



**APPLICATION OF THE NEW POLYSTYRENE INSULATION**

**SPOTLIGHT ON SERVICE.**

# Project Gallery



**GREEN ROOF COVERING OF  
THE NEW BIN STORES**



**OVERVIEW OF THE ROOF AND  
PLANTERS**



**A SEATED PERGOLA WAS  
INSTALLED AS A COMMUNAL AREA  
FOR RESIDENTS TO MEET**

**SPOTLIGHT ON SERVICE.**

# Project Gallery



**GREEN ROOF AREA OUTSIDE  
THE TESCO COLLEAGUE ROOM**

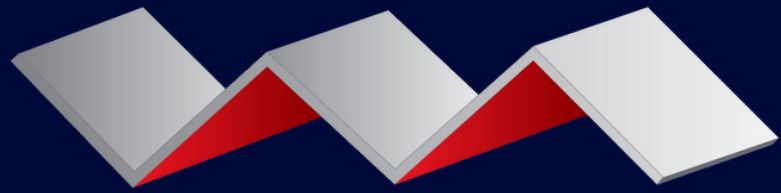


**SCAN QR CODE FOR FULL  
PROJECT DETAILS**



**NEW PURPOSE-MADE,  
LIGHTWEIGHT PLANTERS WERE  
INSTALLED FOR RESIDENTS TO USE**





**WEATHERPROOFING ADVISORS LIMITED**

# Setting new standards for the roofing industry

Established over four decades, Weatherproofing Advisors continue to raise the bar with respect to their technical and service capabilities.

Specialising in the maintenance and refurbishment of roofing and cladding, Weatherproofing Advisors have built their enviable reputation around their passion for providing their customers with unparalleled levels of service.

Service the WPA way Our culture of continual improvement and going the extra mile for our customers and colleagues alike has enabled us to develop a true and lasting partnership with many of our clients.

Our customers say we bring real value to their business – over 93% of our customers said we had provided excellent levels of service in relation to quality of works, health and safety, communications and customer care.

All sectors covered from service centres across the UK

Weatherproofing Advisors Ltd offer both a regional and national capability through their service centres across the UK. We have experience of working in all market sectors and fully appreciate the different demands associated with each.

Good service does not happen by accident.



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